

Planning Committee

31st August 2022

UTT/22/2046/PINS

Land At Berden Hall Farm

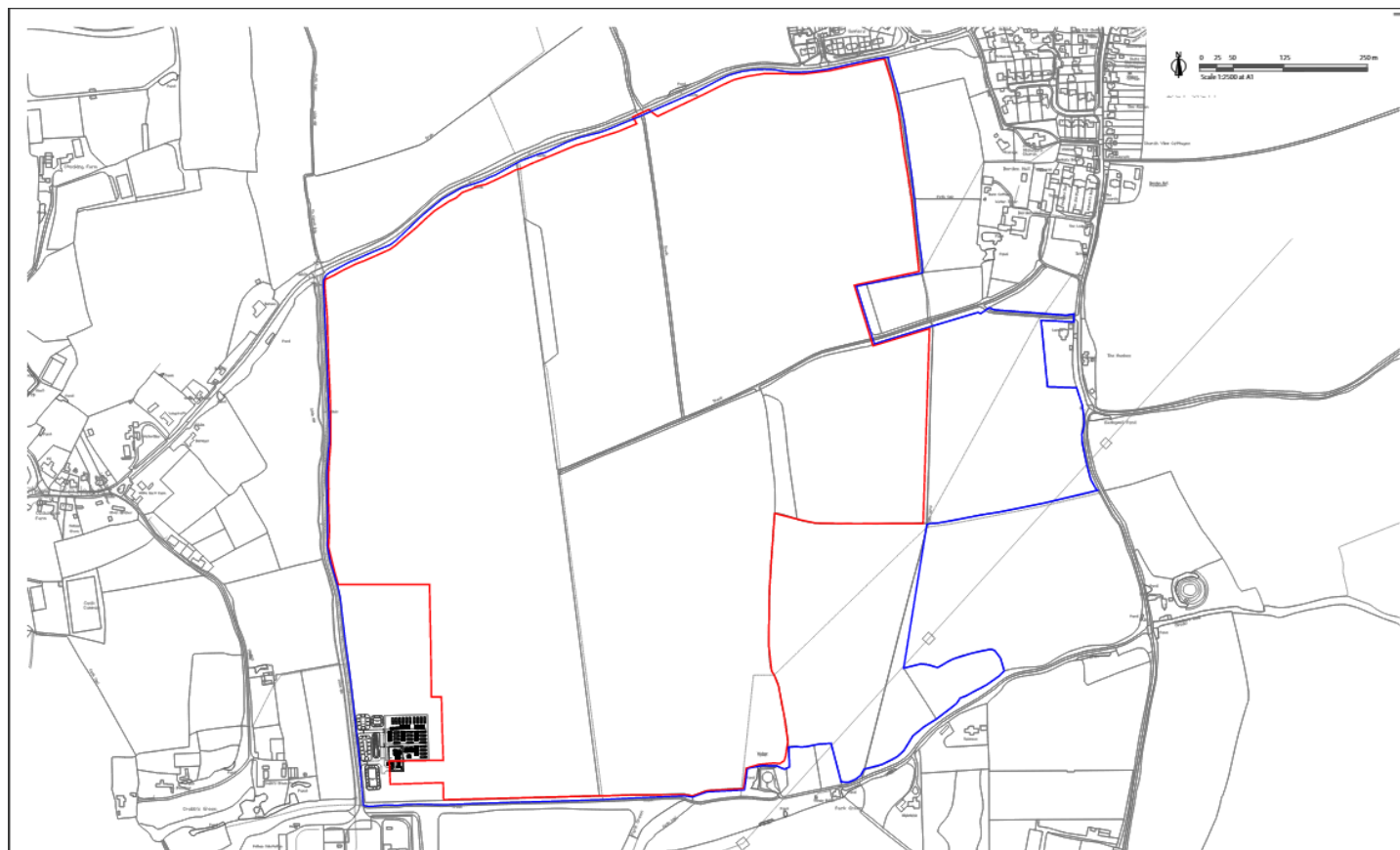
Dewes Green Road

Berden

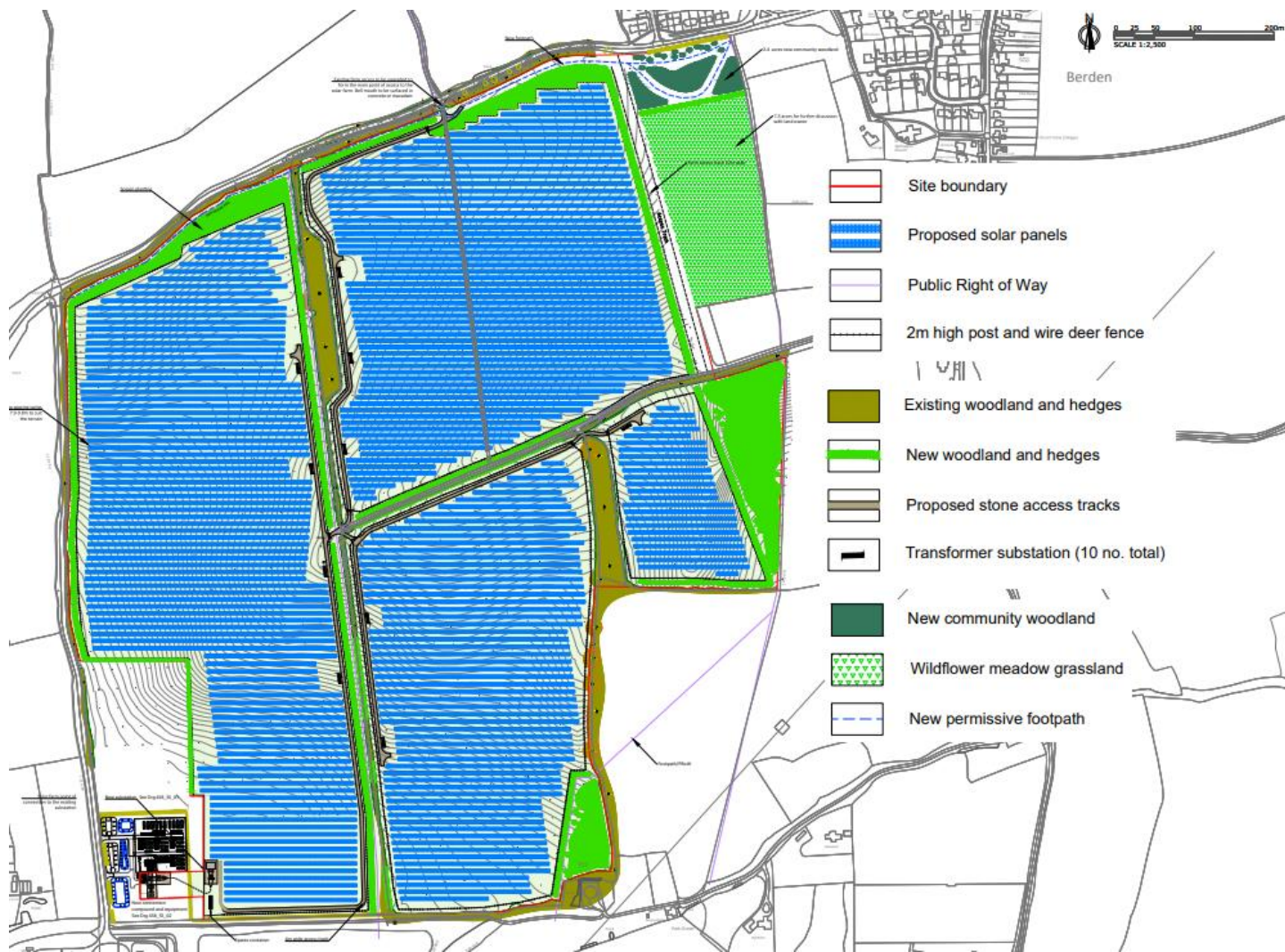
Proposal

- Construction of a ground mounted solar farm with a generation capacity of up to 49.99MW.
- Electricity demands of approximately 15,200 homes, annually.
- Site selected due to its proximity to the existing Pelham Substation and the high solar irradiance associated with the area.
- 5 hectares of land included within the development for landscape improvements and biodiversity net gain.
- The proposal also includes the establishment of a new permissive footpath.
- Estimated lifespan of up to 40 years and is long-term temporary and reversible.

Site Location



Proposed Plan



Visualisations



Visualisations



Visualisations



Visualisations



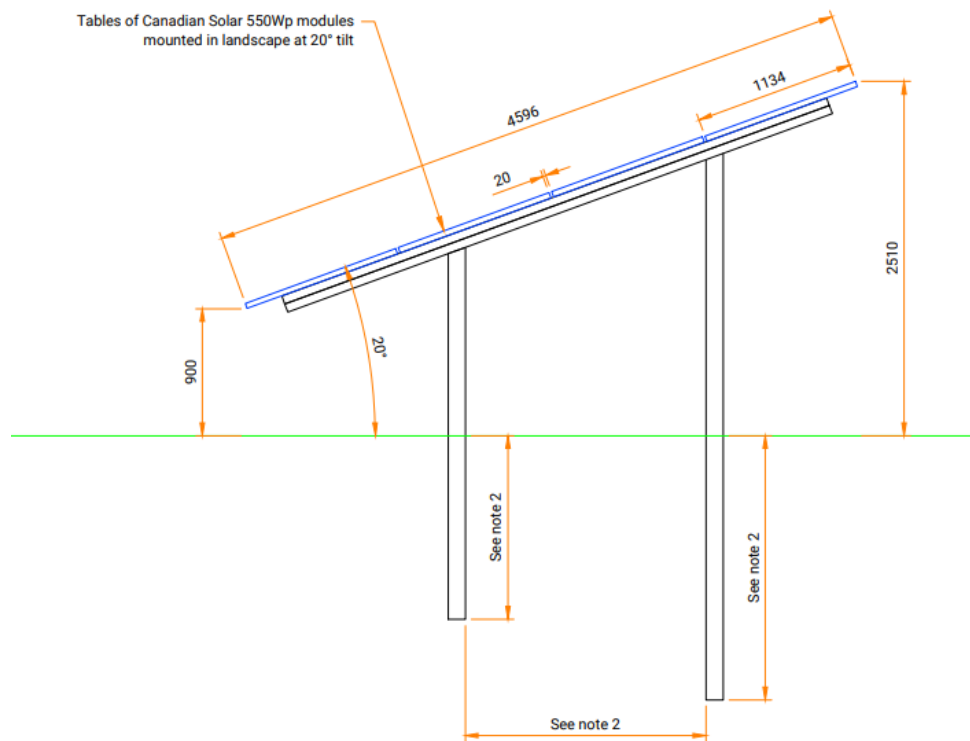
Visualisations



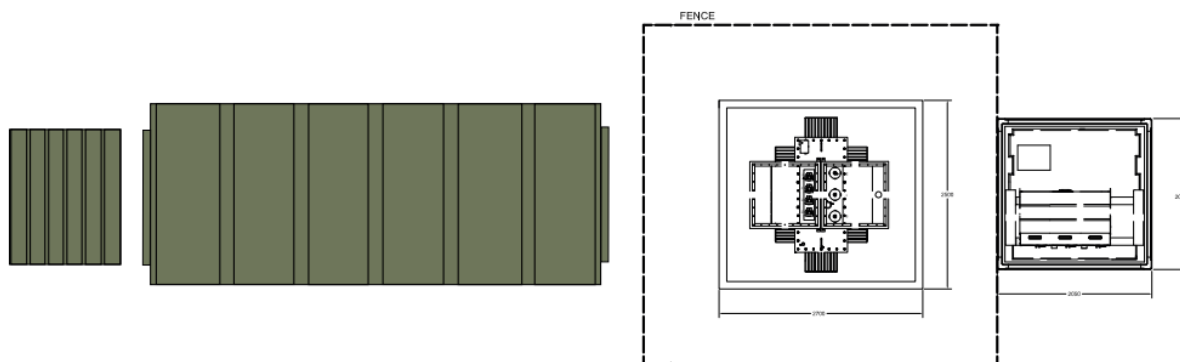
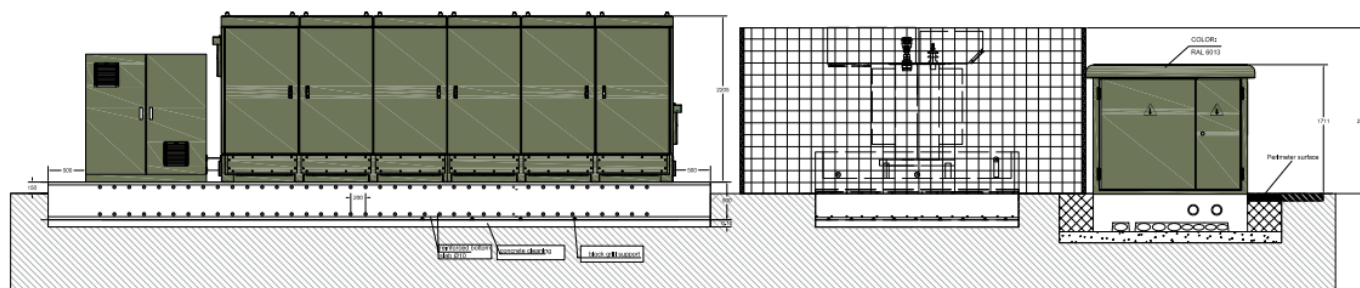
Visualisations



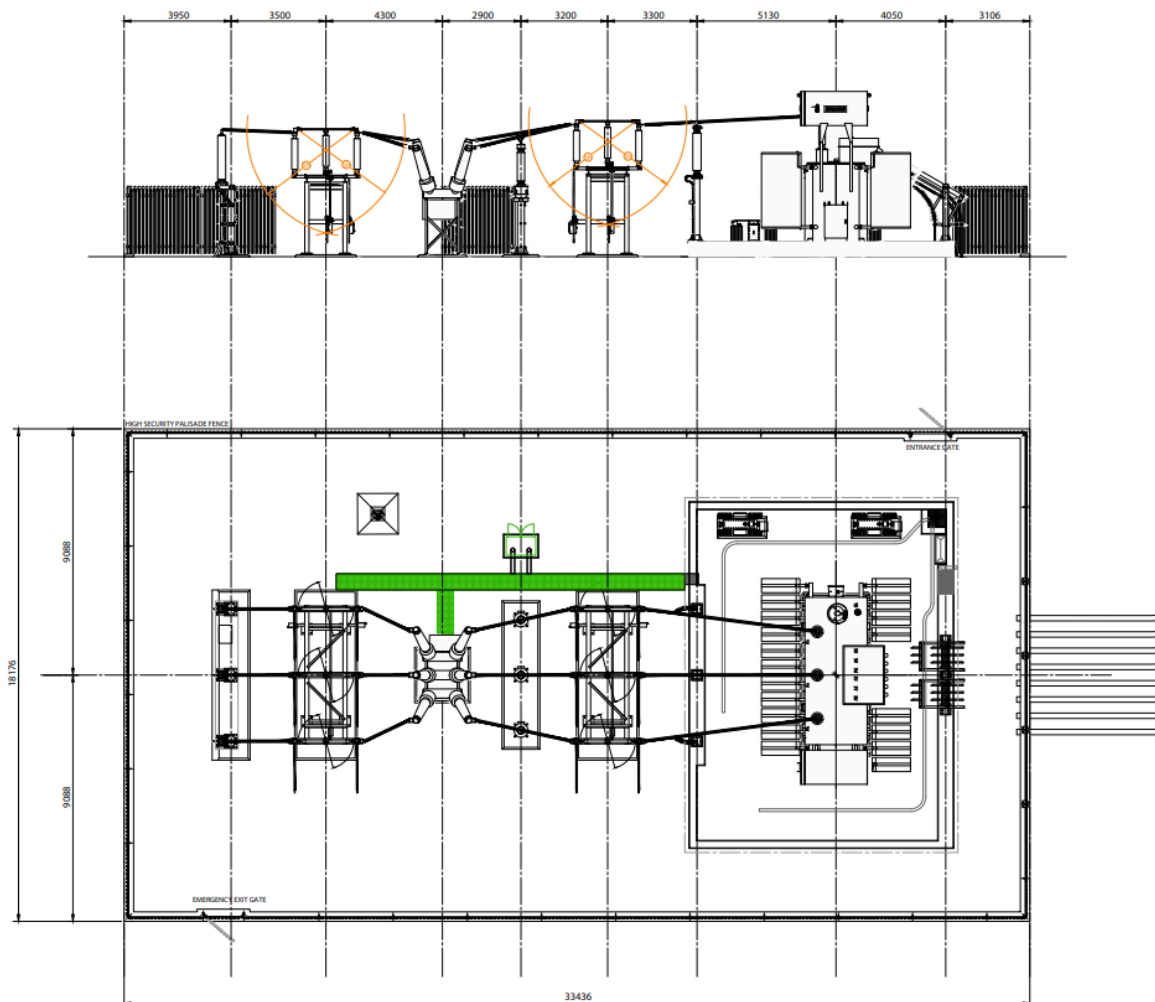
Indicative Panel Details



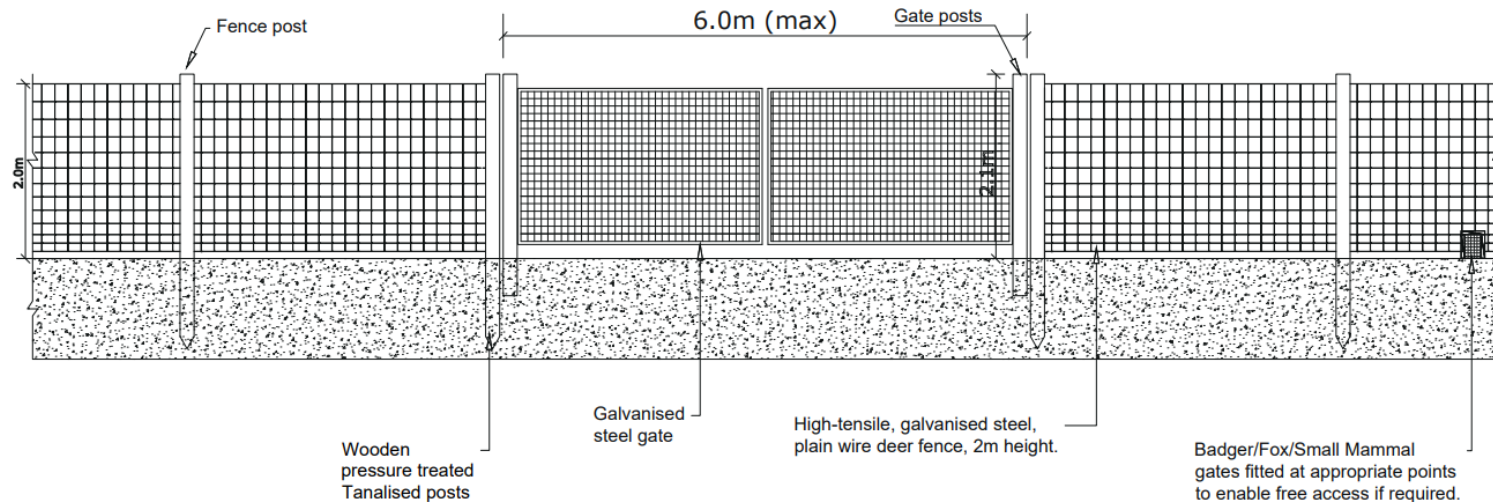
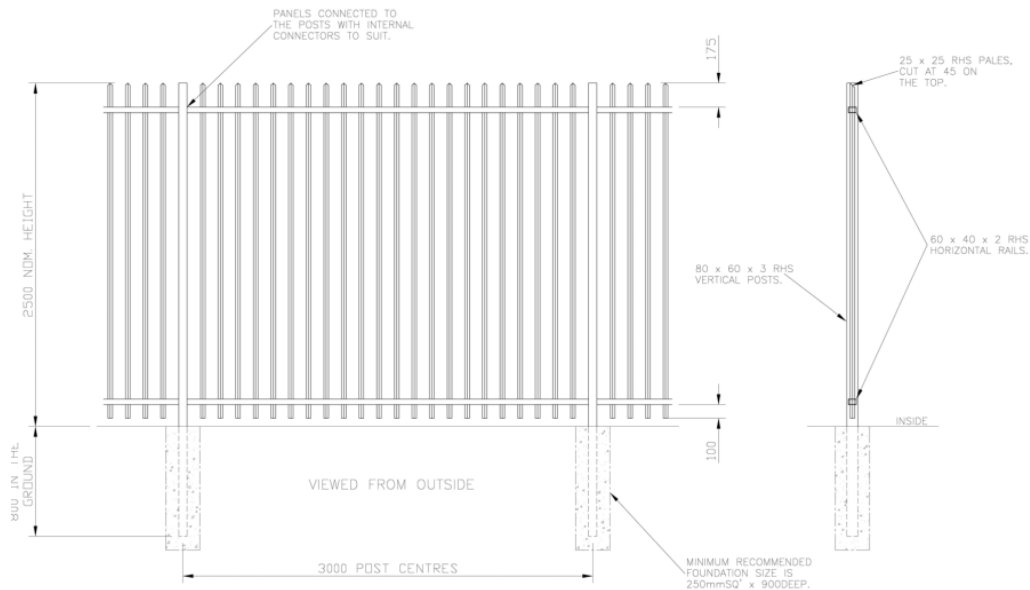
Indicative Inverter and Transformer Block Details



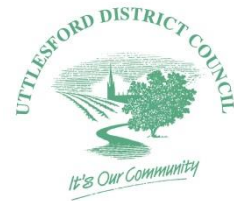
Indicative Inverter and Transformer Block Details



Indicative Fence Details



Summary



- Visual harm caused to the landscape character of the countryside would be localised, limited and largely mitigated by new planting measures.
- Less than substantial effect on the significance of heritage assets and their setting.
- Would not result in a total loss of agricultural land and there could be options for alternative agricultural use to take place alongside the operation of the site.
- The need to tackle climate change, as recognised in legislation and energy policy, represents a very significant benefit of the scheme that is considered to outweigh the limited harm.
- Once decommissioned, there would be no residual adverse landscape effects, leaving an enhanced landscape through hedgerow planting and biodiversity net gain.

UTT/21/3596/OP

**Moors Fields, Station Road, Little
Dunmow**

Site Location Plan



Development Framework Plan



Illustrative Master Plan



Character Areas



Landscape Edge

Character Area 1. Landscape Edge	
Density	20 dph
Storey heights	2 storeys
Dwelling types	Detached (frequent)
	Semi-detached (common)
	Terraced (none)
	Apartments (none)
Linked dwellings	Occasional
Wall materials	Red brick (occasional)
	Smooth pastel render (frequent)
	Horizontal wooden cladding (common)
Roof materials	Brown tiles
	Red tiles
Doors colours	Muted tones
Windows	Casement Windows
	White frames
Window details	Vertical brick headers to brick properties in the



Development Core

Character Areas 2. Development Core	
Density	30 - 35 dph
Storey heights	2 storeys
Dwelling types	Detached (minimal)
	Semi-detached (frequent)
	Terraced (common)
	Apartments (minimal)
Linked dwellings	Common
Wall materials	Red brick (frequent)
	Smooth pastel render (common)
	Horizontal wooden cladding (occasional)
Roof materials	Brown tiles
	Grey slate
Doors colours	Strong tones
Windows	Casement Windows
	White frames
Window details	Vertical brick headers to brick properties in the

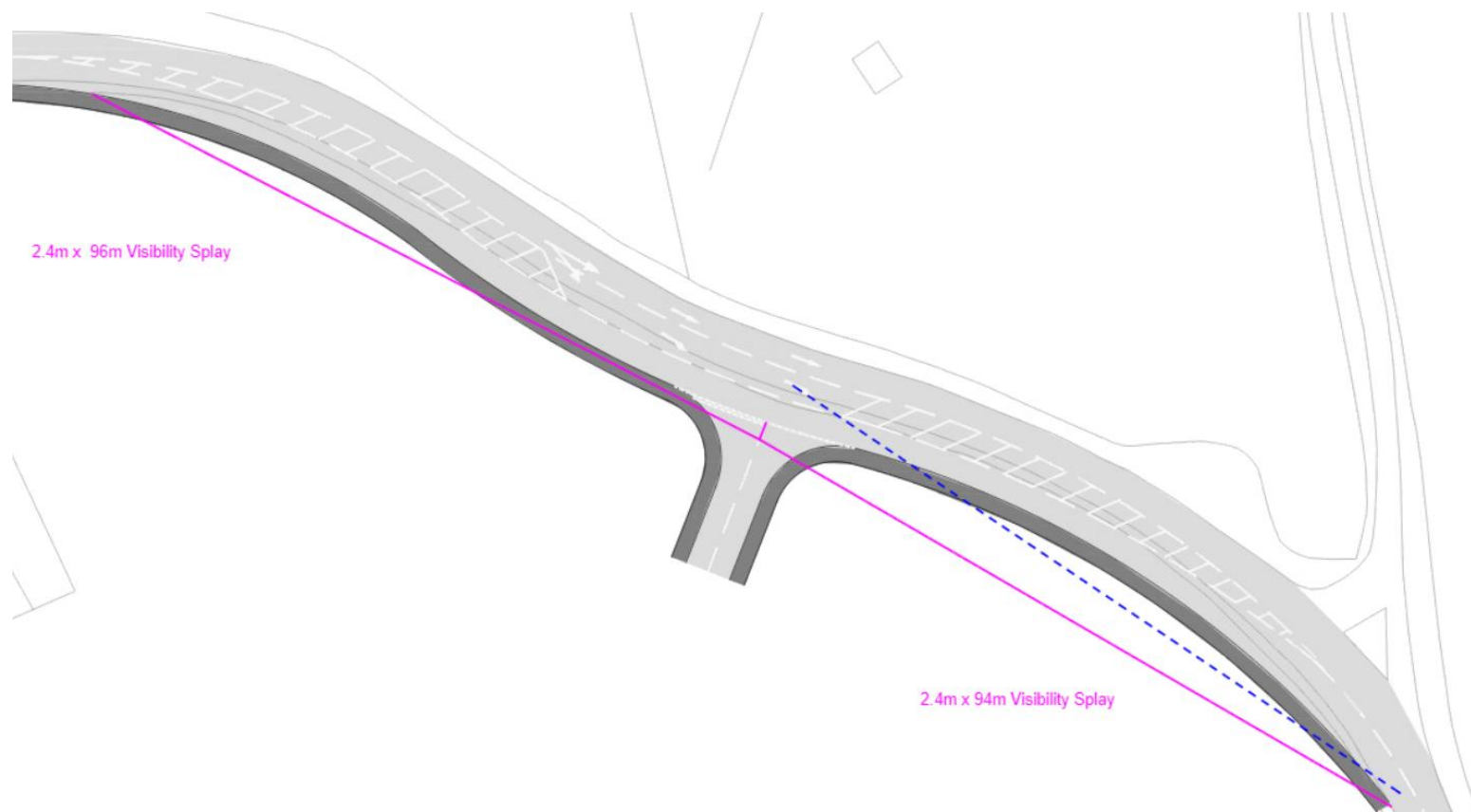


Neighbourhood Edge

Character Area 3. Neighbourhood Edge	
Density	35 - 40 dph
Storey heights	2 and 2.5 storeys
Dwelling types	Detached (minimal)
	Semi-detached (frequent)
	Terraced (frequent)
	Apartments (minimal)
Linked dwellings	Common
Wall materials	Red brick (frequent)
	Smooth pastel render (occasional)
	Horizontal wooden cladding (none)
Roof materials	Grey slate
	Red tiles
Doors colours	Strong tones
Windows	Casement Windows
	White frames
	Gable fronted dormers
Window details	Vertical brick headers to brick properties in a



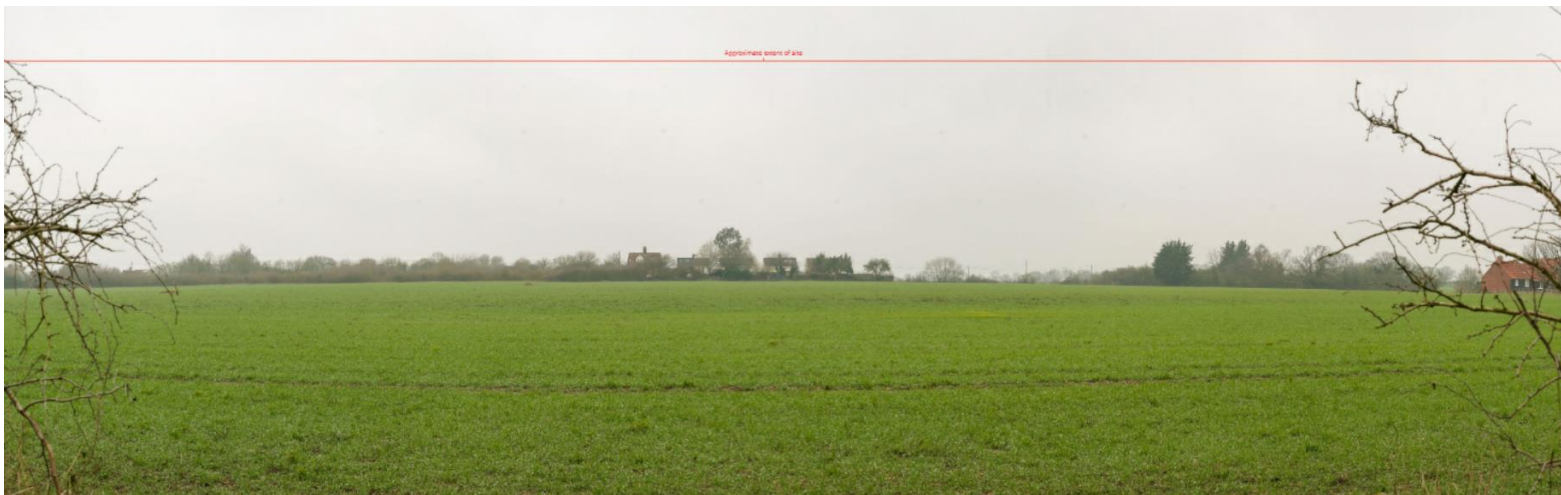
Site Access



View from PRow 35_20, looking east across the site



View from PRow 35_37 (bridleway) looking north across the site



View taken from Station Road looking south across the site



UTT/22/1598/DOV

Land North of Shire Hill Farm, Shire Hill,
Saffron Walden, Essex.

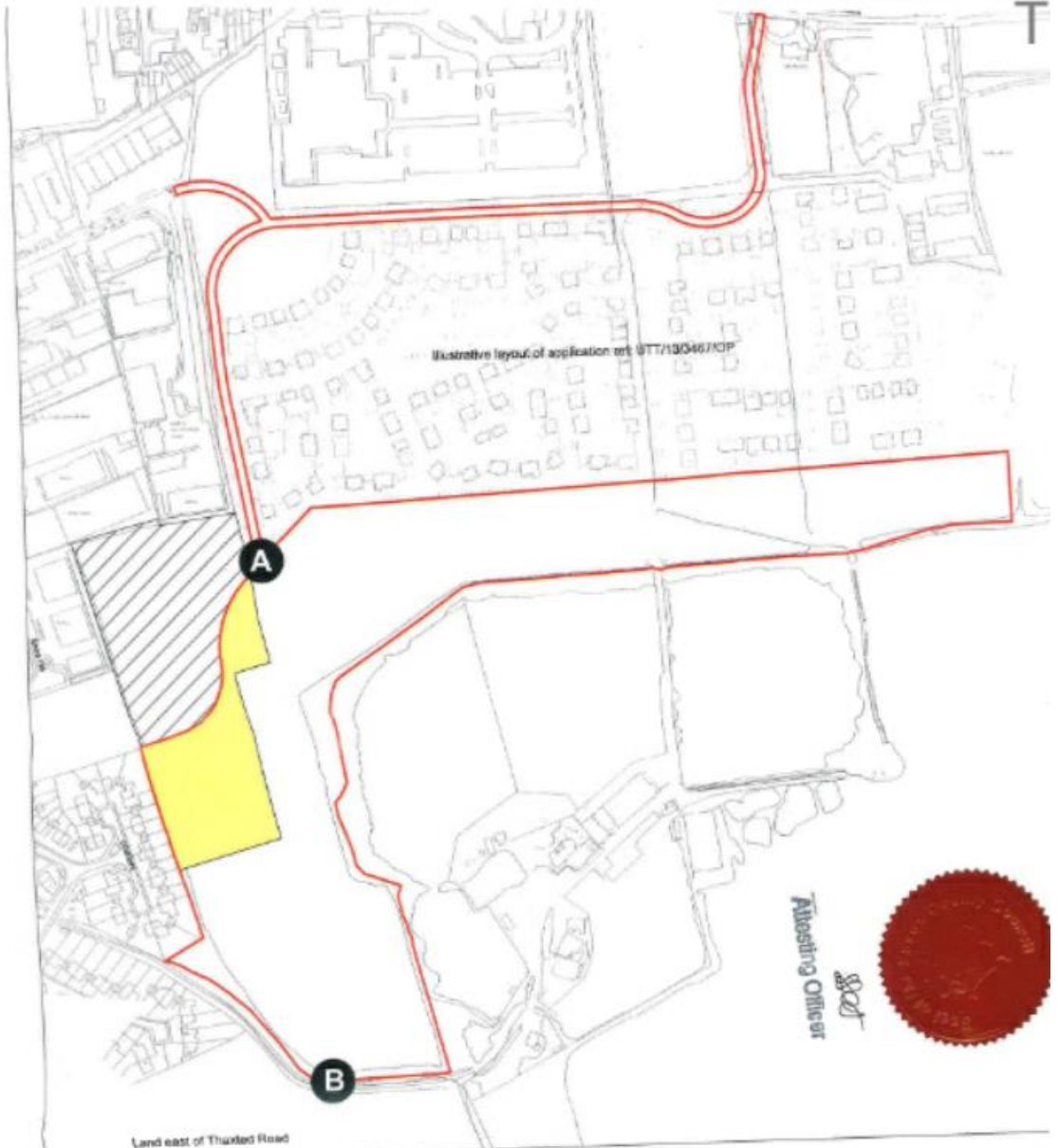
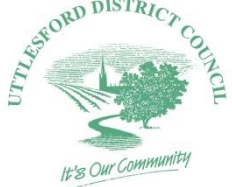
Illustrative Site Plan Approved Under Outline Application ref: UTT/17/2832/OP



Location of Proposed Spine Road



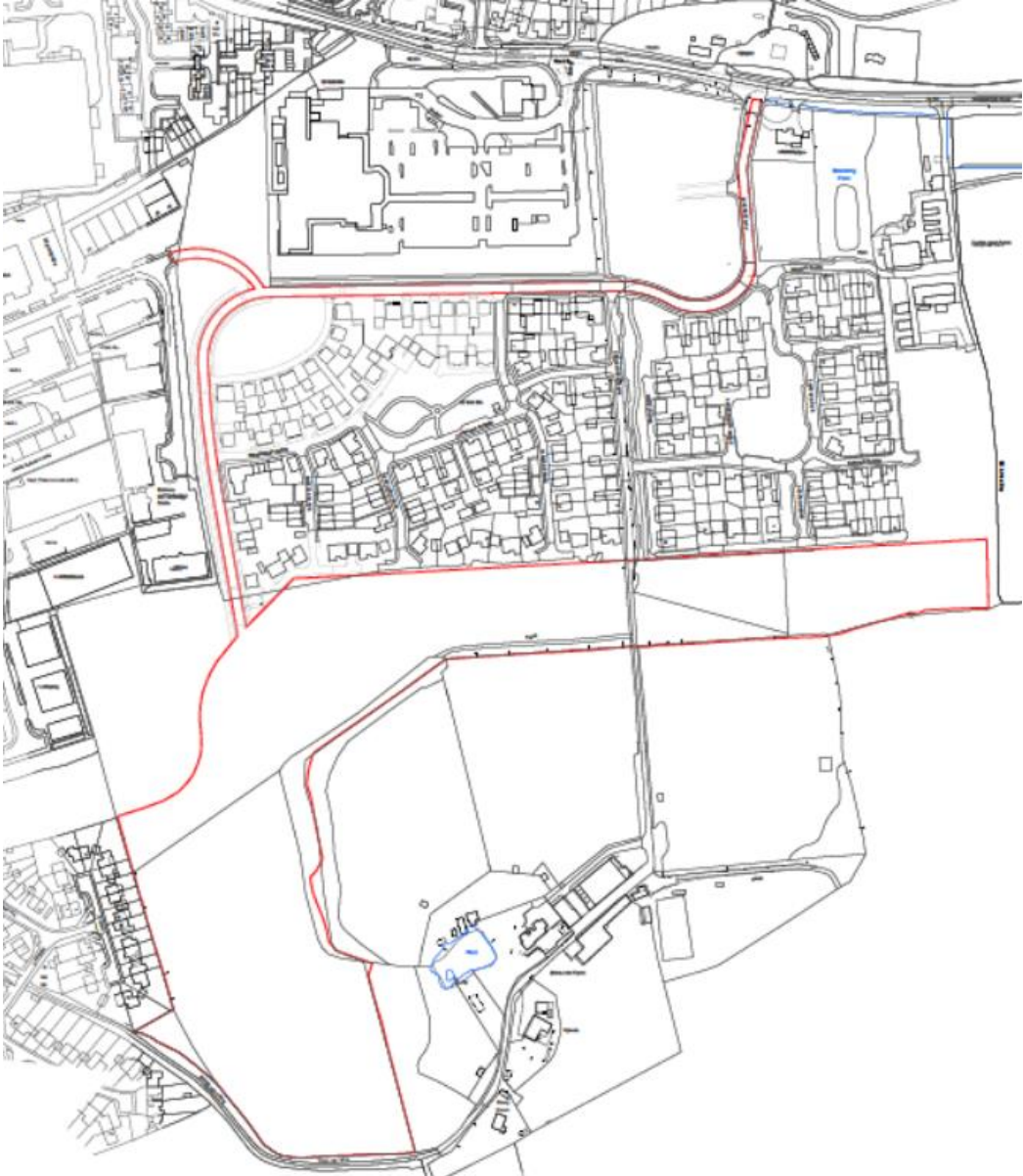
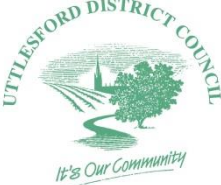
Copy of Plan Attached to S106 Legal Agreement



UTT/21/3565/DFO

Land North Of Shire Hill Farm,
Saffron Walden

Site Location Plan



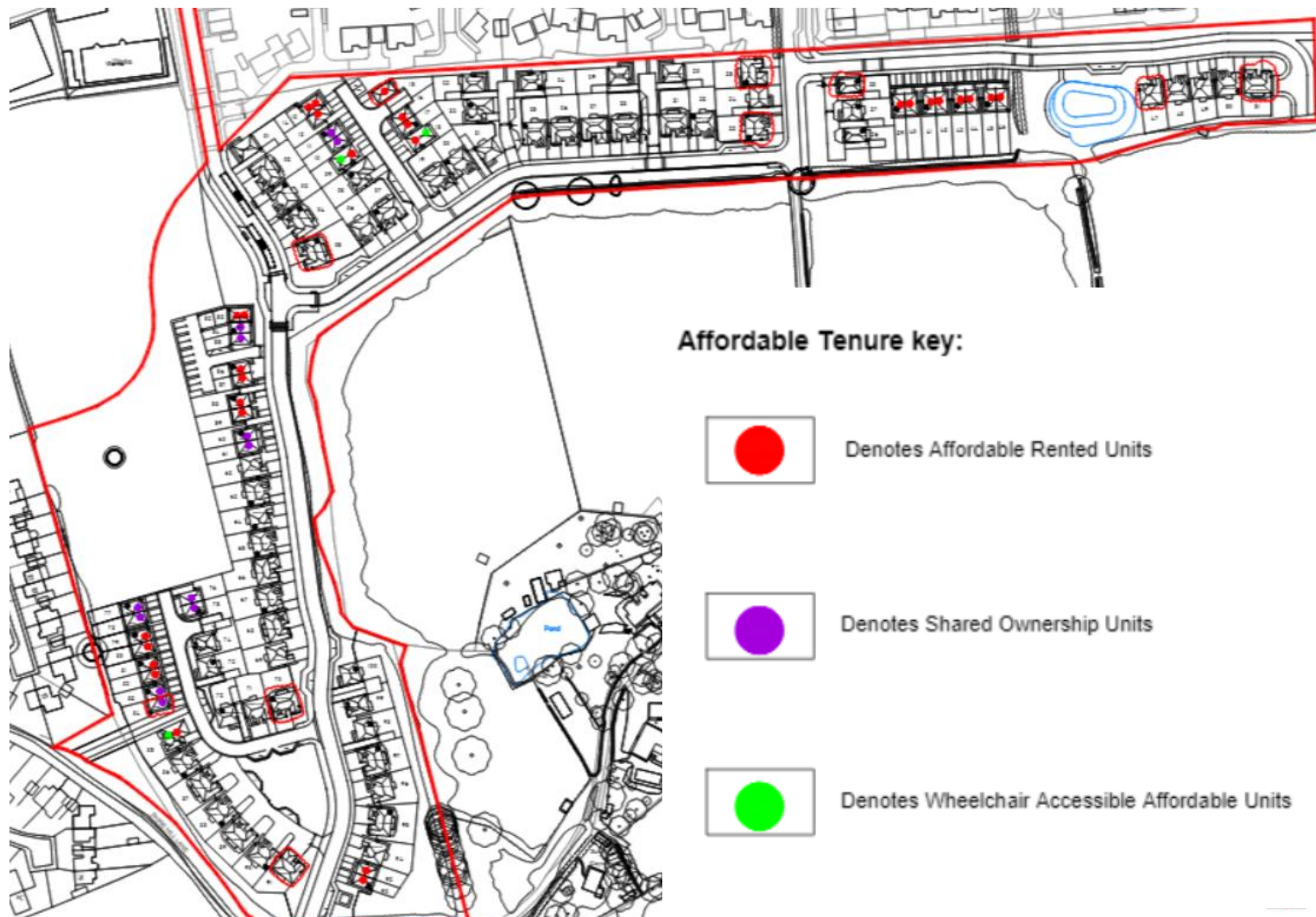
Proposed Master Plan



Allocated School Land



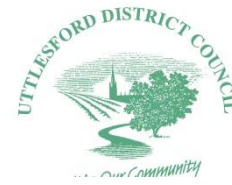
Affordable Housing



Storey Heights



House Styles



FRONT ELEVATION



REAR ELEVATION



FRONT ELEVATION



REAR ELEVATION



SIDE ELEVATION



SIDE ELEVATION



SIDE ELEVATION



SIDE ELEVATION

Chester

Harrogate



FRONT ELEVATION



SIDE ELEVATION



FRONT ELEVATION



REAR ELEVATION



REAR ELEVATION



SIDE ELEVATION



SIDE ELEVATION

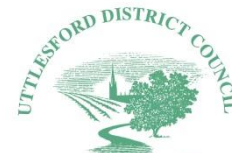


SIDE ELEVATION

Hadleigh

Hampstead

House Types



FRONT ELEVATION



REAR ELEVATION



FRONT ELEVATION



REAR ELEVATION



SIDE ELEVATION



SIDE ELEVATION



SIDE ELEVATION



SIDE ELEVATION

Leamington



FRONT ELEVATION



SIDE ELEVATION



REAR ELEVATION



SIDE ELEVATION

Tweed



FRONT ELEVATION



REAR ELEVATION



SIDE ELEVATION



SIDE ELEVATION

Stratford

Street Scene



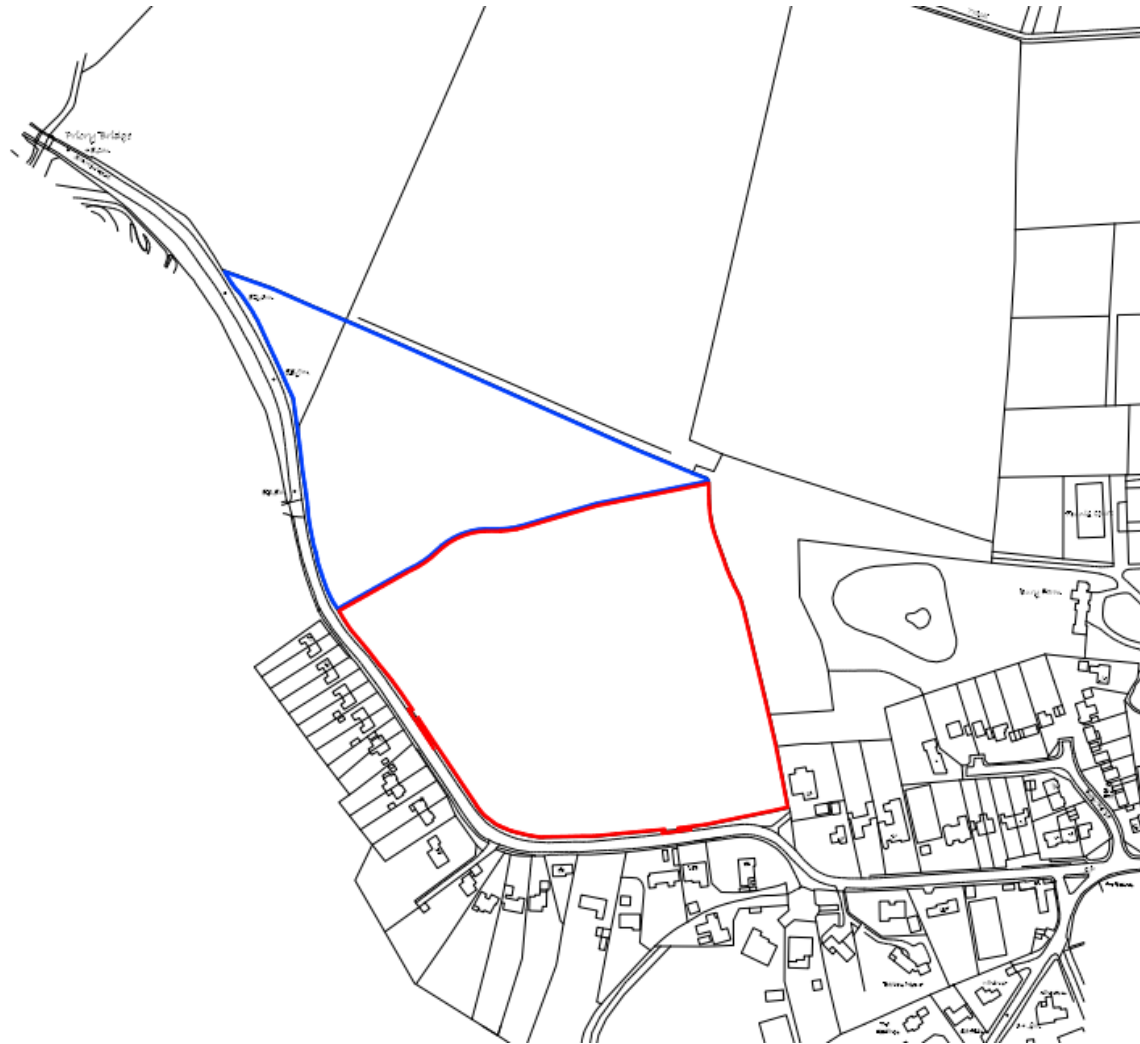
STREETSCENE A-A



UTT/22/1078/DFO

**Land West of Bury Farm,
Station Road,
Felsted**

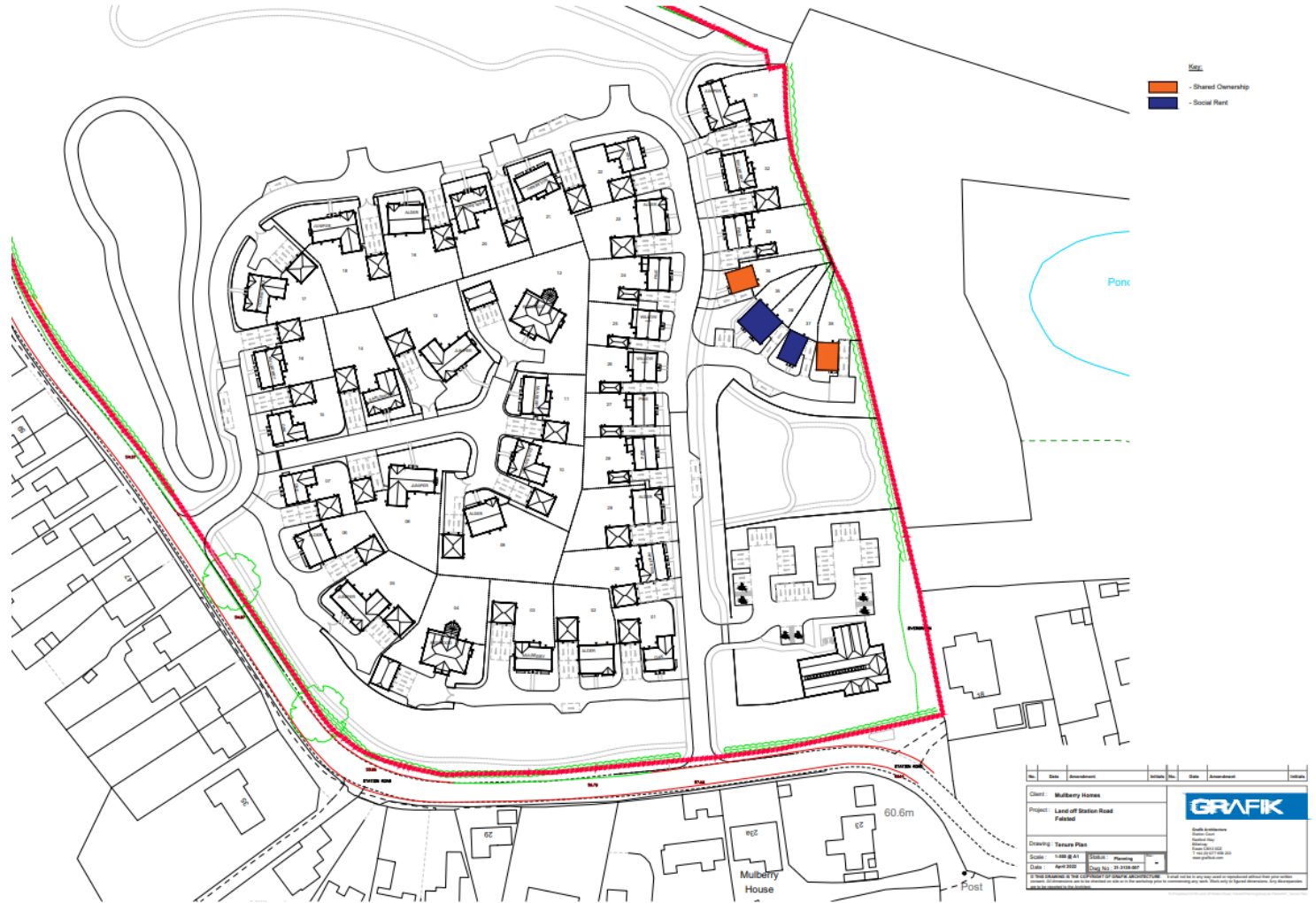
Site Location Plan



Site Layout Plan



Tenure Plan



House Types



Alder



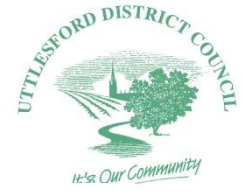
Bosworth (Semi) - Affordable



Willow

Earlswood

House Types



No.	Date	Description	Issued	By	Approved	Notes
Client: Mulberry Homes						
Project: Land off Station Road, Potters						
Drawing: Mulberry Elevations						
Scale: 1:100 @ A1						
Date: April 2018						

Juniper



No.	Date	Description	Issued	By	Approved	Notes
Client: Mulberry Homes						
Project: Land off Station Road, Potters						
Drawing: Oak Elevations						
Scale: 1:100 @ A1						
Date: April 2018						

Mulberry



No.	Date	Description	Issued	By	Approved	Notes
Client: Mulberry Homes						
Project: Land off Station Road, Potters						
Drawing: Pine Brick Elevations						
Scale: 1:100 @ A1						
Date: April 2018						

Oak

Pine

House Types



No.	Date	Amendment	Initials	No.	Date	Amendment	Initials
Client: Mulberry Homes Project: Land off Station Road, Fulsland Drawing: Pine Half Weatherboard Elevations Scale: 1:100 @ A1 Date: April 2022 Drawn By: [Name] Checked By: [Name]							



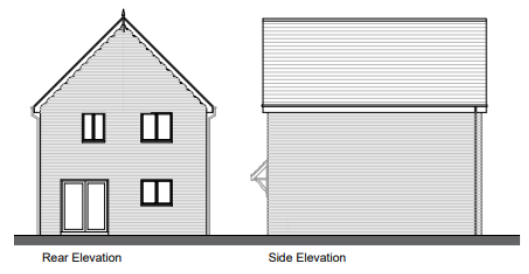
Pine (Weatherboard)



No.	Date	Amendment	Initials	No.	Date	Amendment	Initials
Client: Mulberry Homes Project: Land off Station Road, Fulsland Drawing: Shipley Plans and Elevations Scale: 1:100 @ A1 Date: April 2022 Drawn By: [Name] Checked By: [Name]							

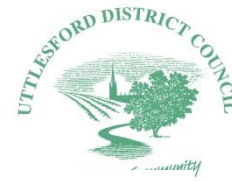
Shipley - Affordable

Redwood



Ash - Affordable

Medical Centre Floorplans and Elevations



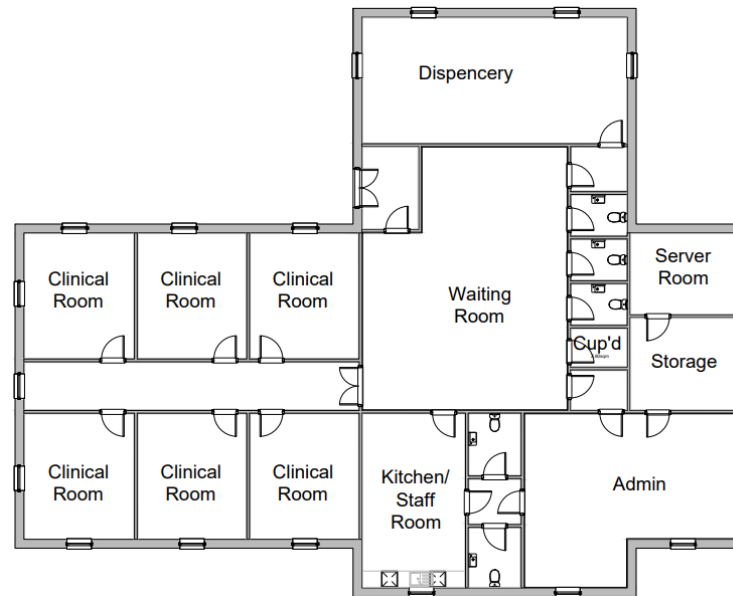
Side Elevation

Front Elevation



Side Elevation

Rear Elevation



Indicative Street Scenes



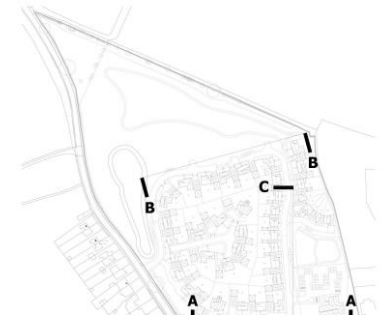
Elevation A-A



Elevation B-B



Elevation C-C



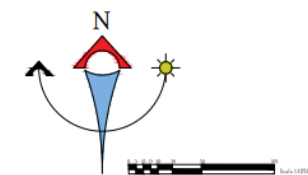
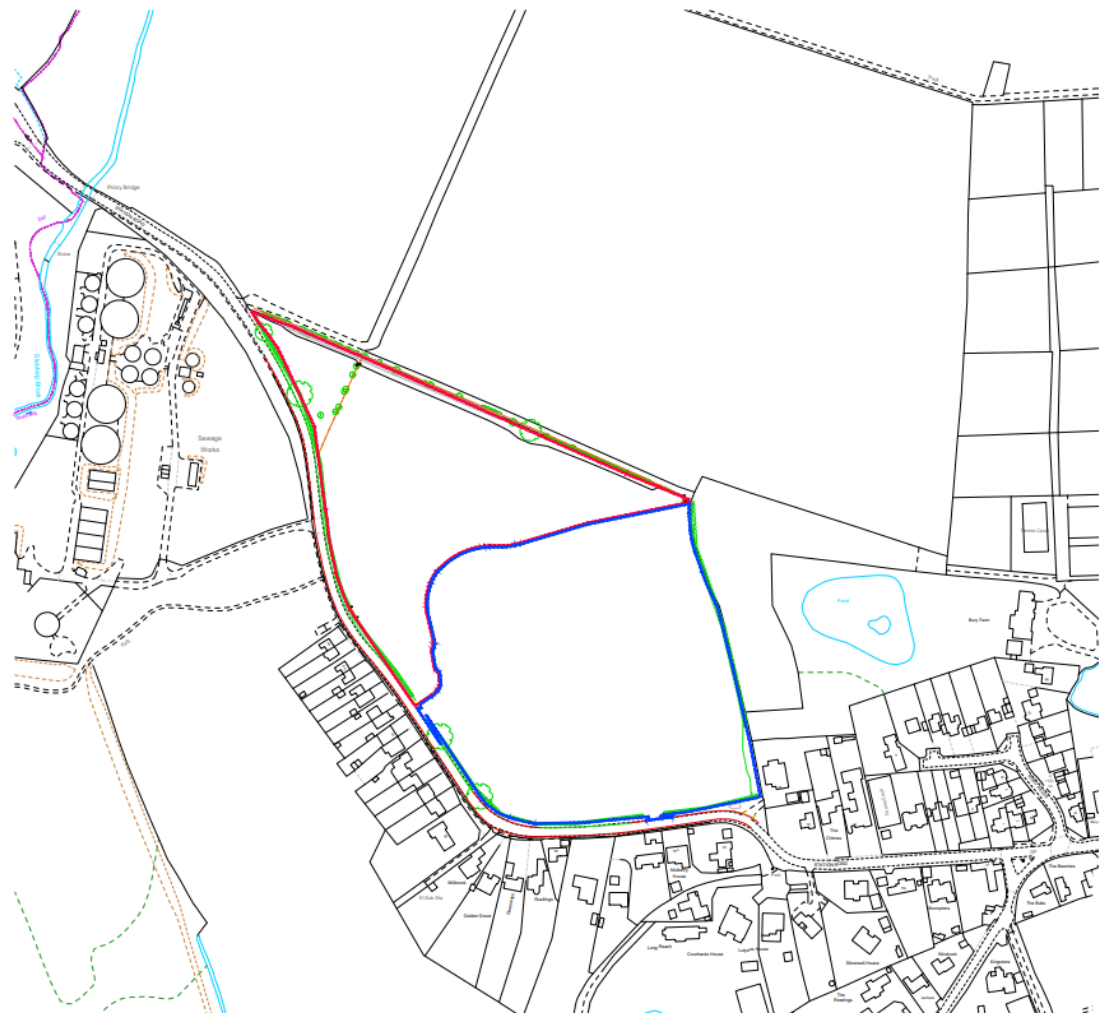
Landscape Masterplan



UTT/22/1080/FUL

**Land West of Bury Farm,
Station Road,
Felsted**

Site Location Plan



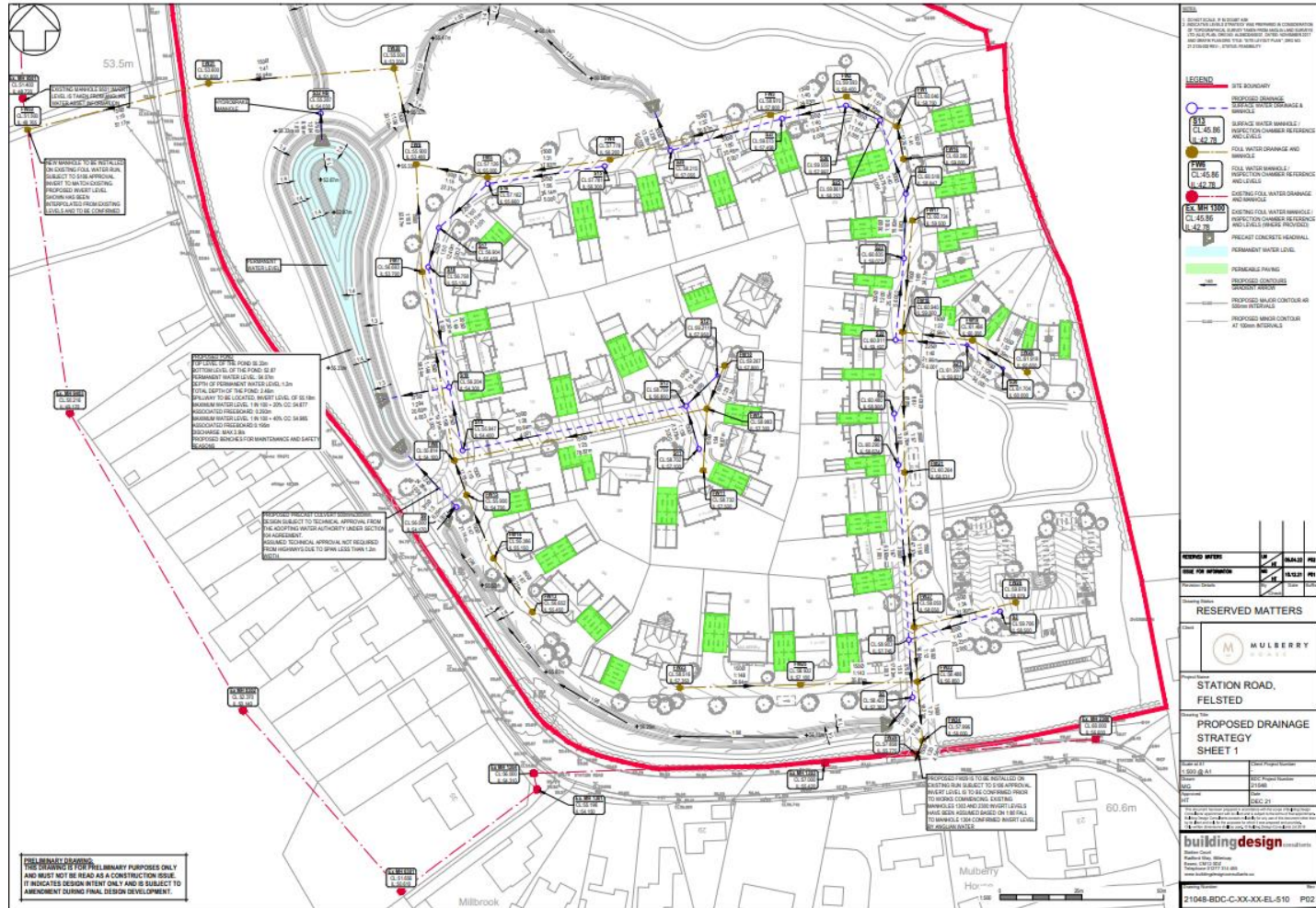
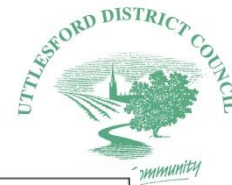
No.	Date	Amendment	By	Date	Amendment
Client: Mulberry Homes Project: Leed off Station Road Fileid:					
Drawing: Location Plan					
Date:	15/06/2023	Drawn by:	0100000000	Checked by:	0100000000
Date:	15/06/2023	Drawn by:	0100000000	Checked by:	0100000000
If this drawing is not a copy of the original drawing, it shall not be used for any purpose other than that for which it was prepared. All drawings are the property of GRAFIK and shall remain the property of GRAFIK.					



Landscape Masterplan



Proposed Drainage Strategy



PRELIMINARY DRAWING:
 THIS DRAWING IS FOR PRELIMINARY PURPOSES ONLY AND MUST NOT BE READ AS A CONSTRUCTION ISSUE. IT INDICATES DESIGN INTENT ONLY AND IS SUBJECT TO AMENDMENT DURING FINAL DESIGN DEVELOPMENT.

DEPTH OF THE POND IS 200mm
 BOTTOM LEVEL OF THE POND IS 47
 PERMANENT WATER LEVEL IS 46
 TOP OF PERMANENT WATER LEVEL IS 46
 DEPTH OF PERMANENT WATER LEVEL IS 46
 PUMP TO BE LOCATED. HEIGHT LEVEL OF 80.8m
 MAXIMUM WATER LEVEL IS 10.1m TO 20m TO 30m
 MINIMUM WATER LEVEL IS 10.1m TO 20m TO 30m
 DISCHARGE MAN 1.8m
 PROPOSED SIGNAGE FOR MAINTENANCE AND SAFETY

DESIGN SUBJECT TO TECHNICAL APPROVAL FROM THE LOCAL AUTHORITY
 BEFORE COMMENCING WORKS
 BEFORE COMMENCING WORKS
 BEFORE COMMENCING WORKS

PROPOSED DRAINAGE STRATEGY SHEET 1
 THIS DRAWING IS FOR PRELIMINARY PURPOSES ONLY AND MUST NOT BE READ AS A CONSTRUCTION ISSUE. IT INDICATES DESIGN INTENT ONLY AND IS SUBJECT TO AMENDMENT DURING FINAL DESIGN DEVELOPMENT.

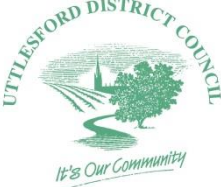
Views of northern element of site



UTT/22/1103/DFO

Land To The West of Stortford Road,
Clavering

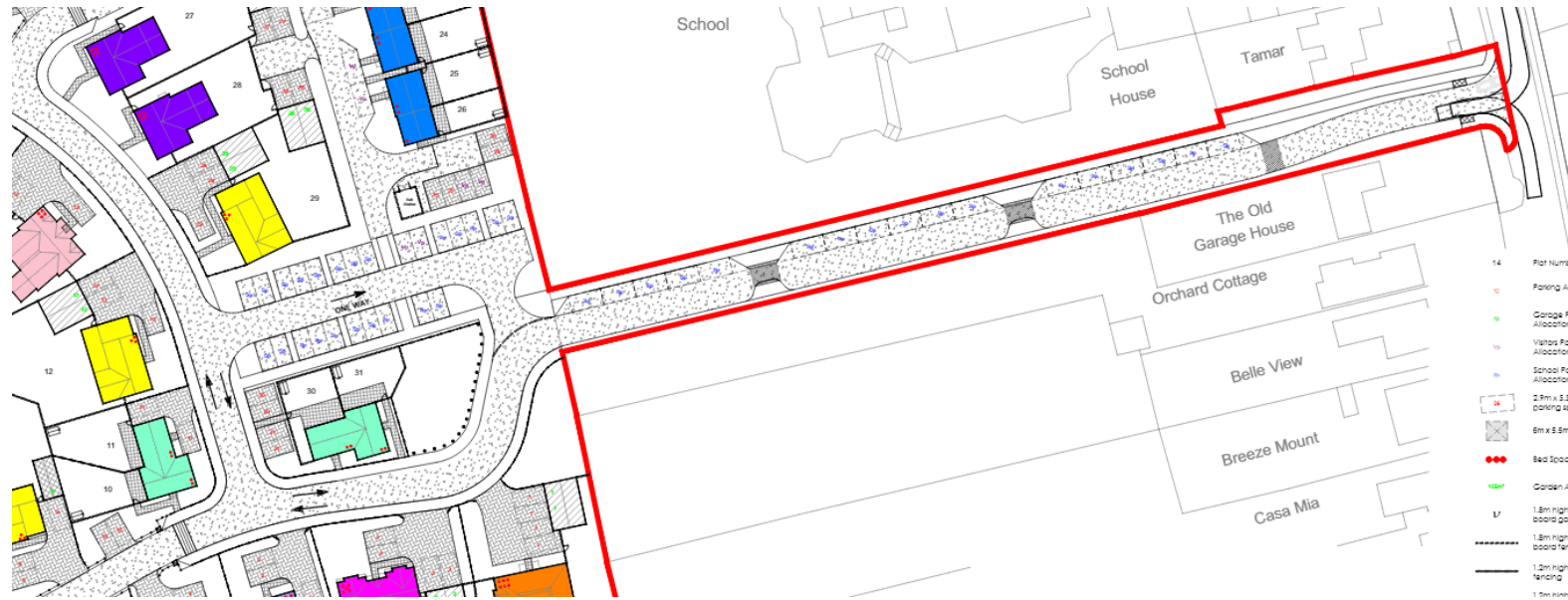
Location Plan



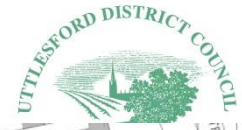
Layout Plan










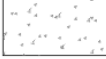

Proposed Access and Parking Area

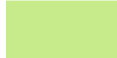
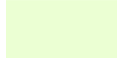
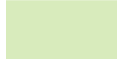



Landscaping Plan

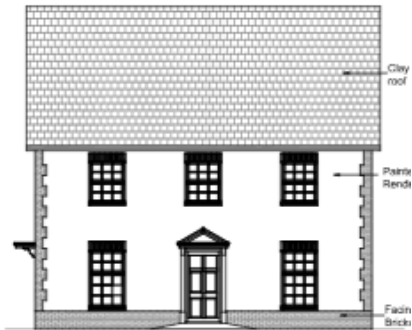


-  1.8m high close board gate
-  1.8m high close board fencing
-  1.2m high chain link fencing
-  1.2m high Post & Rail fencing

-  Block Paving Buff
-  Paving Grey
-  Paving
-  Road
-  Low level planting with bark

-  Front Grass
-  Rear Grass
-  Wild Grass
-  Mown Grass

Housing Types



Proposed Materials



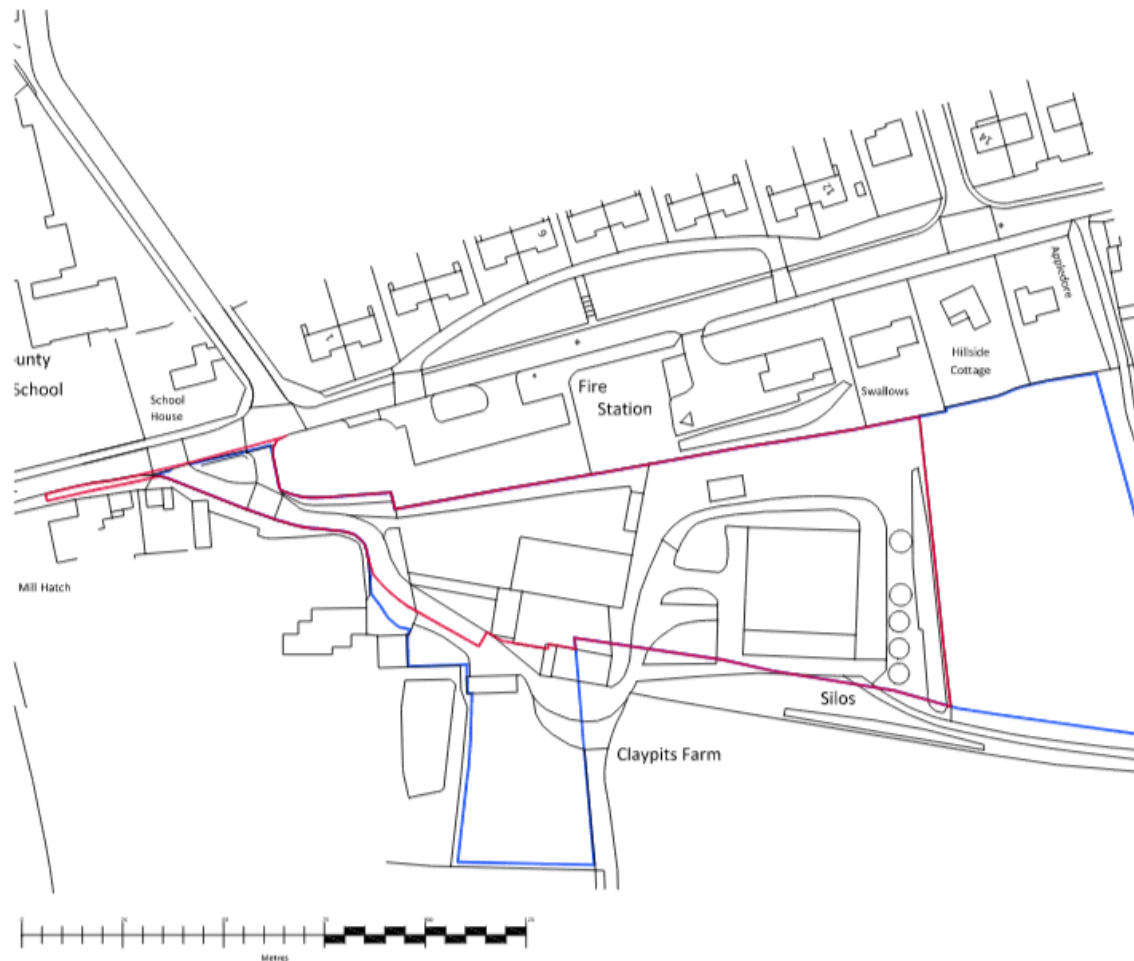
render options



UTT/22/1020FUL

**Claypits Farm,
Bardfield Road,
Thaxted,
Essex CM6 2LW**

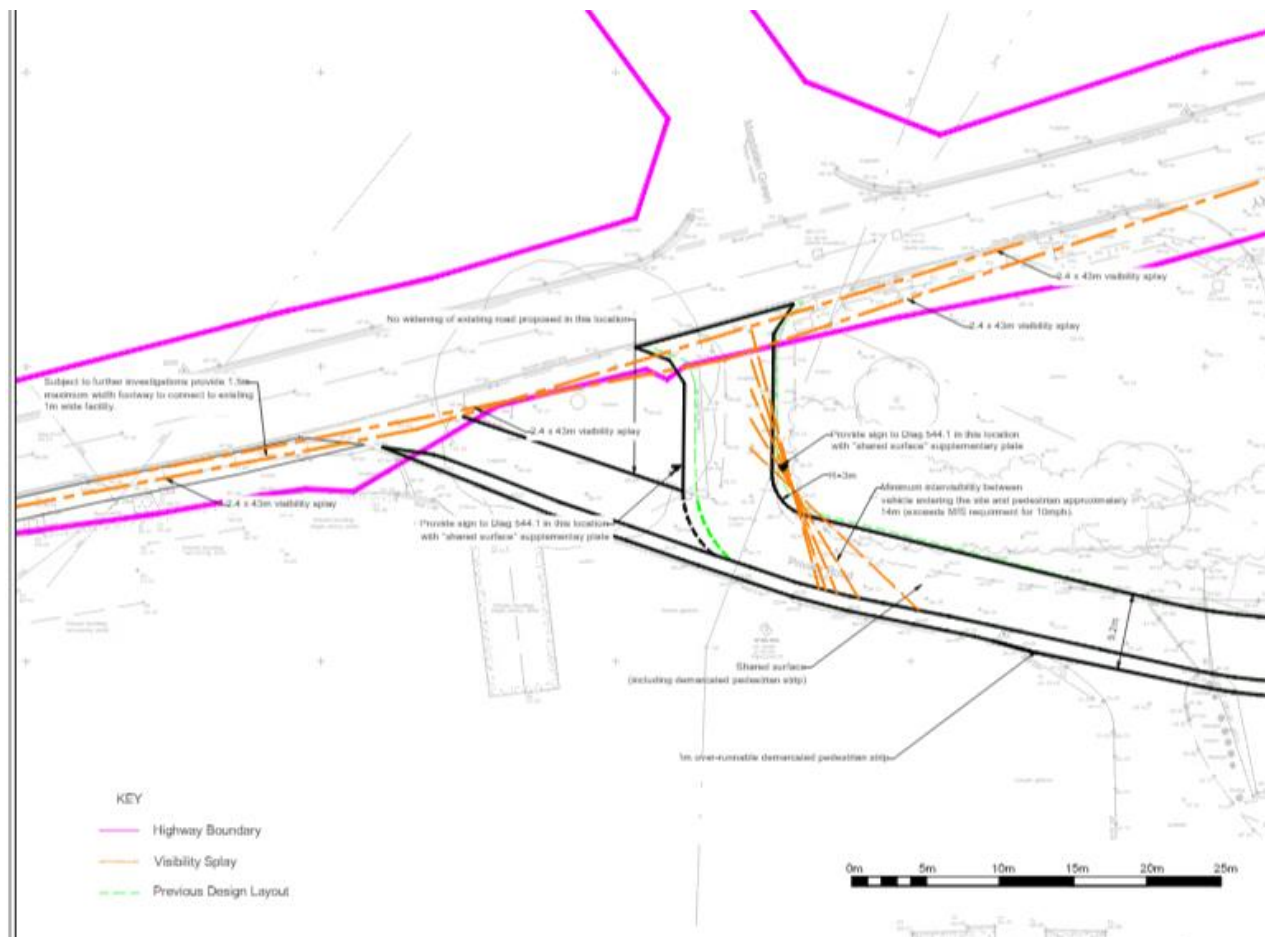
Location Plan



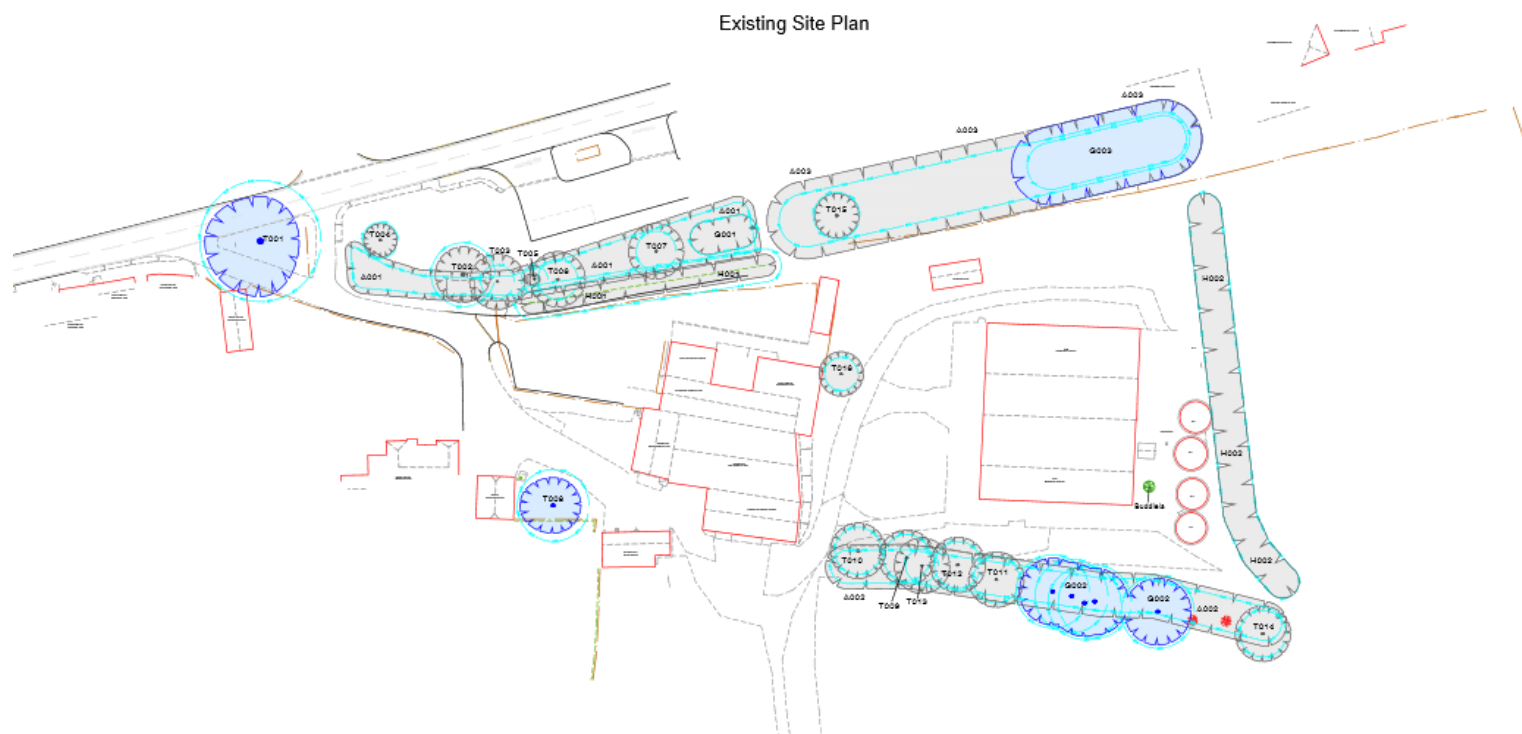
Proposed Site Layout



Proposed Access



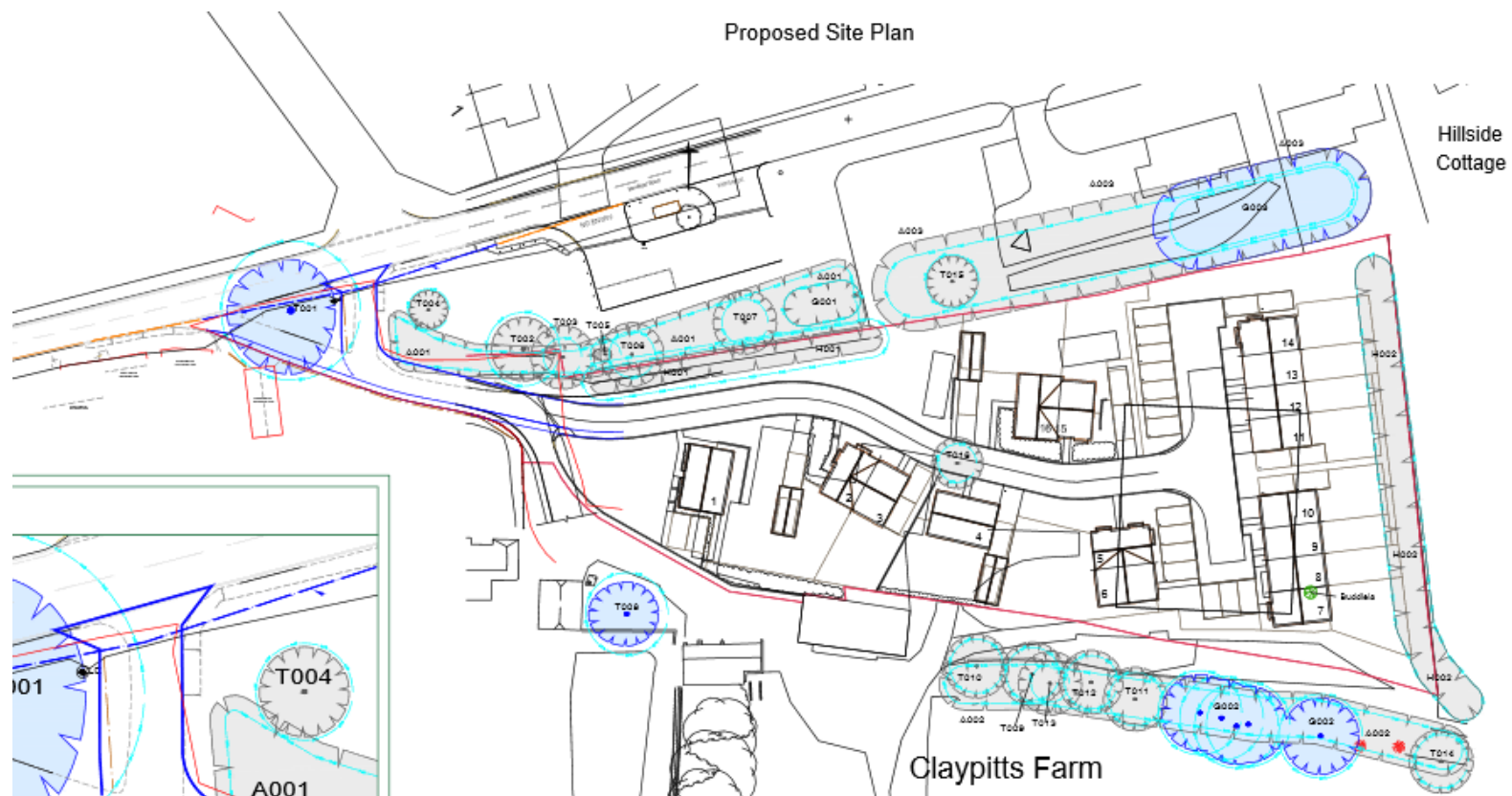
Tree survey submitted with UTT/20/0614/OP



Photos of site access



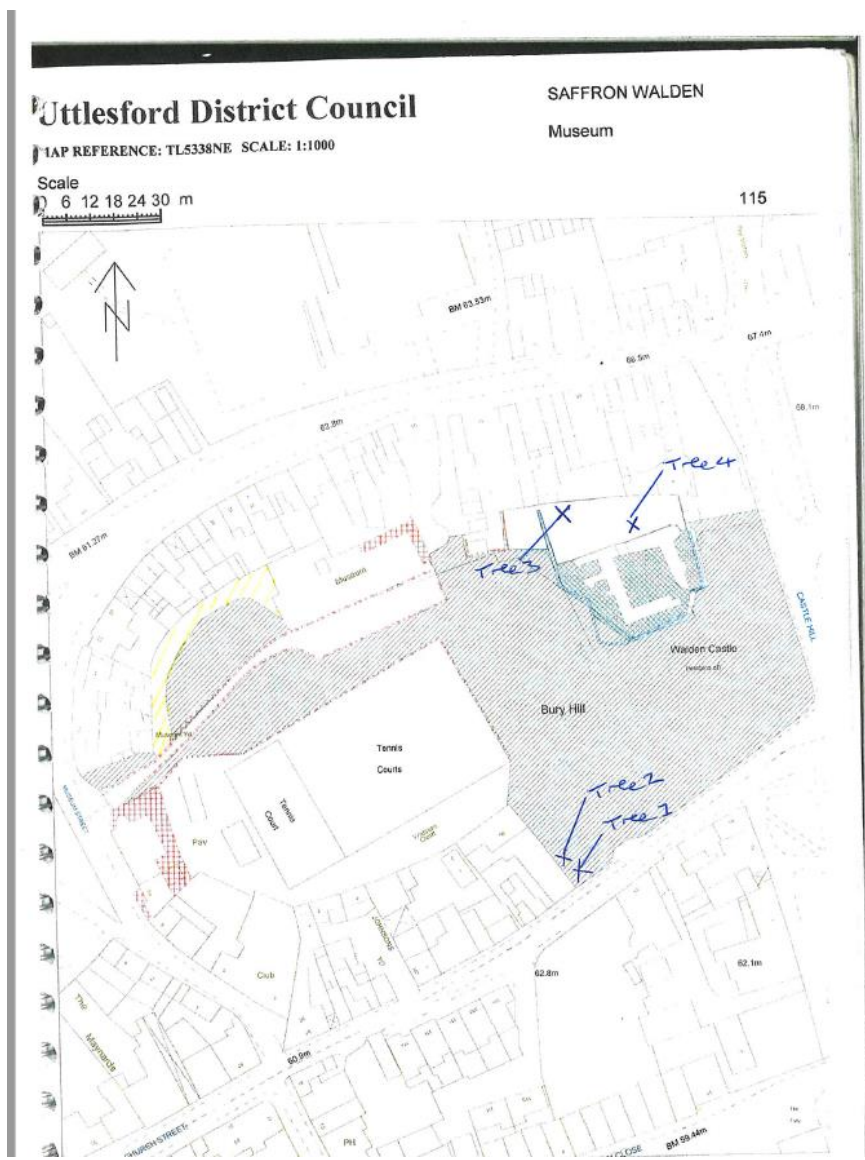
Proposed under UTT/20/0614/OP



UTT/22/2192/TCA

Saffron Walden Museum
SAFFRON WALDEN

Site Plan – showing location of trees



Tree no.4 from 54B



Tree no. 3 from 54B



Base of leaning sycamore tree



Tree No.3 from 54B



1 & 2 from Church Street



Trees 1 & 2

